

11/9/20

SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
 Surveyor of Hamilton County
 Phone (317) 776-8495
 Fax (317) 776-9628

Suite 188
 One Hamilton County Square
 Noblesville, Indiana 46060-2230

November 9, 2020

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Enclave at Vermillion, Sec. 4 Arm

Attached is a petition filed by North Connecticut Development Corporation (Republic Development), along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Vermillion Drain, The Enclave at Vermillion, Sec. 4 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Weihe Engineers, Project No. W170032-4, the drain will consist of the following:

12" RCP	1,720 ft.
15" RCP	418 ft.
18" RCP	421 ft.
21" RCP	91 ft.
24" RCP	20 ft.
6" SSD	4,137 ft.
Open drain	1,308 ft.

The total length of the drain will be 8115 feet.

The open drain length listed above includes the following: The straight-line length through Pond 19 between Ex Str. 935 and Ex. Str. 936; The straight-line length between the swale at the SE corner of Pond 19 and Ex. Str. 936; The swale between Str 154 stub and Pond 17 (at NW corner); The straight-line length through Pond 17 from NW swale to Str 167; The swale between Str 133 stub and Pond 17 (at NE corner); and, The straight-line length through Pond 17 from the NE swale to Str 167. Note: These swales are temporary. The two swales noted above as outletting into Pond 17 will be replaced with pipe as part of a future section, Enclave at Vermillion, Sec. 6. The temporary swale outletting into Pond 19 is being piped as part of the Enclave at Vermillion, Sec. 5, which is also proposed at this time. See Sec. 5 report for more information.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The sub-surface drains within the street right-of-way are being included due to the streets within the subdivision being under the jurisdiction of the Hamilton County Highway. As such there will not be street trees within the right-of-way but will be behind the sidewalk on the individual lots per Hamilton County Highway Department requirements. This complies with the Hamilton County Drainage Board's discussion of July 19, 2018 regarding street trees. (See Hamilton County Drainage Board Minutes Book 18, pages 204 to 206).

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 4 will be \$2,604.30.

The detention ponds constructed with this section (pond #14 & 19) are to be considered part of the regulated drain. This is consistent with the ponds in other Vermillion sections. The maintenance of the pond shall include the inlets and outlet as part of the regulated drain. The maintenance of the pond such as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: August 22, 2019
Number: 1369ENC4
For: Storm Sewers
Amount: \$244,179.90
HCDB-2019-00036

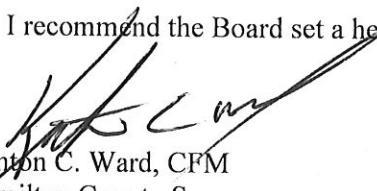
Agent: Standard Financial Corporation
Date: August 22, 2019
Number: 1370ENC4
For: Erosion Control
Amount: \$62,152.94
HCDB-2019-00037

Agent: Standard Financial Corporation
Date: August 22, 2019
Number: 1371ENC4
For: Monumentation
Amount: \$15,357.05
HCDB-2019-00038

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for The Enclave at Vermillion, Sec. 4 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for December 14, 2020.



Kenton C. Ward, CFM
Hamilton County Surveyor
KCW/stc

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

APR 15 2019

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of The Enclave at Vermillion Subdivision, Section
 Four Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Enclave at Vermillion-Section Four, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.



The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

NORTH CONNECTICUT DEV. CORP.

Douglas B. Wagner, Sr. V.P.

Signed

Signed

DOUGLAS B. WAGNER

Printed Name

Printed Name

Date

4-1-19

Date

Signed

Signed

Printed Name

Printed Name

Date

Date

FINDINGS AND ORDER

CONCERNING THE MAINTENANCE OF THE

Vermillion Drain, The Enclave at Vermillion Section 4 Arm

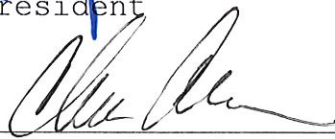
On this 14th day of December, 2020, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Vermillion Drain, The Enclave at Vermillion Section 4 Arm.**

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.


HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary



ENGINEER'S ESTIMATE OF PROBABLE COST

Project: The Enclave at Vermillion Section 4
W170032-4

Date: 8/14/2019

STORM SEWERS

	Quantity	Unit Price	Gross Price
Structures			
Large manholes	3	\$ 2,417.00	\$ 7,251.00
Large Curb Inlet	3	\$ 2,585.00	\$ 7,755.00
Double Curb Inlet	2	\$ 4,200.00	\$ 8,400.00
Small Curb Inlet	11	\$ 2,200.00	\$ 24,200.00
Large Beehive	5	\$ 2,467.00	\$ 12,335.00
Small Beehive	7	\$ 1,490.00	\$ 10,430.00
Concrete Cradle	0	\$ 450.00	\$ -
12" End Section	1	\$ 1,650.00	\$ 1,650.00
Tons of stone bedding (#8)	471	\$ 21.25	\$ 10,008.75
Tons of granular backfill (sand)	373	\$ 15.00	\$ 5,595.00
Tons of Rip Rap	2	\$ 45.00	\$ 90.00
Lot connections (4" underdrain)	39	\$ 140.00	\$ 5,460.00
Linear feet of underdrain (6")	4,102	\$ 9.75	\$ 39,994.50

Qty	Measurement	Size	Material	Unit Price	Gross Price
Pipe	1614	Linear feet of	12"	RCP \$ 24.00	\$ 38,736.00
	524	Linear feet of	15"	RCP \$ 28.00	\$ 14,672.00
	421	Linear feet of	18"	RCP \$ 30.00	\$ 12,630.00
	91	Linear feet of	21"	RCP \$ 36.00	\$ 3,276.00
	20	Linear feet of	24"	RCP \$ 50.00	\$ 1,000.00
STORM SEWER TOTAL:					\$ 203,483.25

EROSION CONTROL

	Quantity	Unit Price	Gross Price
Seeding			
Acres of temp. seed	6.5	\$ 325.00	\$ 2,112.50
Acres of mulching temp seed	6.5	\$ 775.00	\$ 5,037.50
Square yards of permanent seed and straw mulch	20,117	\$ 0.42	\$ 8,449.14
Square yards of erosion control blanket w/ permanent seed)	16,548	\$ 1.05	\$ 17,375.40
Square yards roadside seeding	2,287	\$ 0.34	\$ 777.58
Other			
Construction Entrance	1	\$ 3,300.00	\$ 3,300.00
Linear feet of silt fencing	10,270	\$ 1.00	\$ 10,270.00
Linear feet of Straw Wattles at Curb Drop	128	\$ 3.00	\$ 384.00
Concrete Washout	1	\$ 500.00	\$ 500.00
Curb Inlet Protection	16	\$ 168.00	\$ 2,688.00
Drop Inlet Protection	10	\$ 90.00	\$ 900.00
EROSION CONTROL TOTAL			\$ 51,794.12

MONUMENTATION

	Quantity	Unit Price	Gross Price
Misc.			
Monuments	8	\$ 168.83	\$ 1,350.64
Lot Rebar	113	\$ 101.30	\$ 11,446.90
MONUMENTATION TOTAL			\$ 12,797.54

SUMMARY

	Total	Performance Guarantee	Maintenance Guarantee
	A	B = A X 120%	C = B X 20%
Storm Sewers	\$ 203,483.25	\$ 244,179.90	\$ 48,835.98
Erosion Control	\$ 51,794.12	\$ 62,152.94	\$ 12,430.59
Monumentation	\$ 12,797.54	\$ 15,357.05	\$ 3,071.41
	\$ 268,074.91	\$ 321,689.89	\$ 64,337.98

COMMENTS:

Bond Estimate Prepared by:

Signature: _____

Printed Name: Travis P. Gaither

Title: Project Manager

Date: 14-Aug-19



August 22, 2019

Irrevocable Letter of Credit No.: 1369ENC4

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD, Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Two Hundred Forty-Four Thousand One Hundred Seventy-Nine and 90/100 Dollars (\$244,179.90)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in Enclave at Vermillion, Section 4.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD, Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1369ENC4".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

This Letter of Credit is effective as of August 22, 2019 and shall expire on August 22, 2020, but such expiration date shall be automatically extended for a period of one year on August 22, 2020, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North CD, Inc. by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

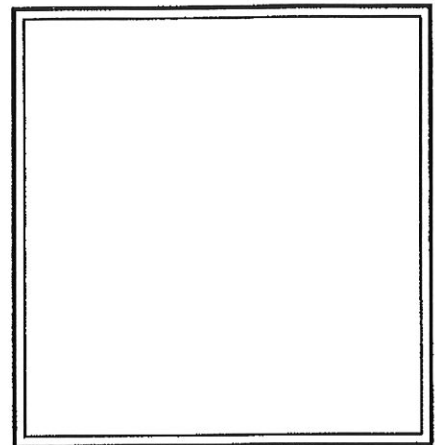
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.



August 22, 2019

Irrevocable Letter of Credit No.: 1370ENC4

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD, Inc.
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Sixty-Two Thousand One Hundred Fifty-Two and 94/100 Dollars (\$62,152.94)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of erosion control in Enclave at Vermillion, Section 4.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD, Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1370ENC4".

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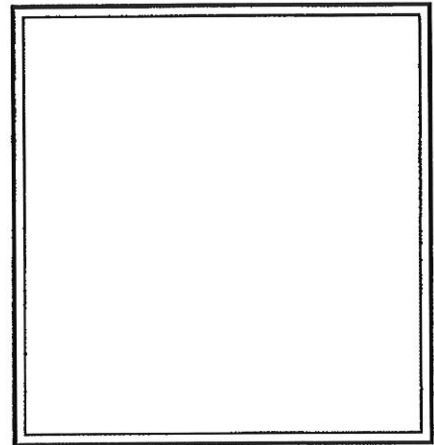
STANDARD FINANCIAL CORPORATION

A handwritten signature in cursive script, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

HCDB-2019-00038



August 22, 2019

Irrevocable Letter of Credit No.: 1371ENC4

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North CD, Inc.
Developer Address: 3150 Republic Blvd. N, #3
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For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Fifteen Thousand Three Hundred Fifty-Seven and 05/100 Dollars (\$15,357.05)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of monumentation in Enclave at Vermillion, Section 4.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North CD, Inc. has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1371ENC4".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600."

This Letter of Credit is effective as of August 22, 2019 and shall expire on August 22, 2020, but such expiration date shall be automatically extended for a period of one year on August 22, 2020, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North CD, Inc. by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the

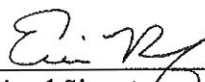


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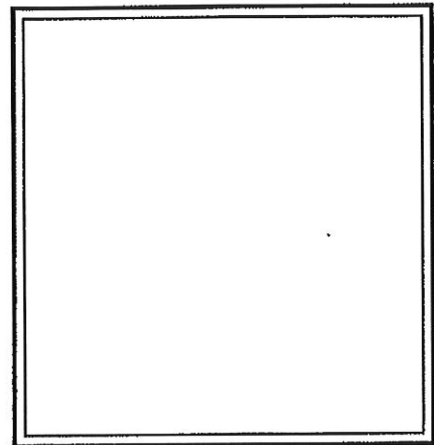
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

***Vermillion Drain,
The Enclave at Vermillion Section 4 Arm***

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Enclave at Vermillion Section 4 Arm** on **December 14, 2020** at **12:00 P.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

**Vermillion Drain,
The Enclave at Vermillion Section 4 Arm**

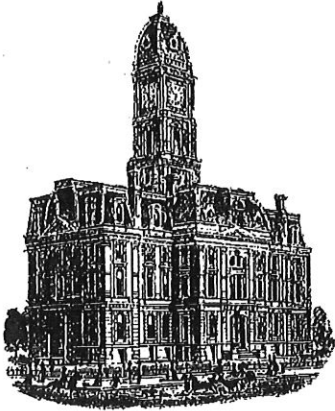
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **December 14, 2020** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

January 27, 2021

Re: Vermillion Drain, The Enclave at Vermillion Sec. 4

Attached are as-built, certificate of completion & compliance, and other information for Enclave at Vermillion Section 4. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated November 9, 2020. The report was approved by the Board at the hearing held December 14, 2020. (See Drainage Board Minutes Book 19, Pages 433-435) The changes are as follows: the open ditch was piped down stream of structures 154 and 133. This was done with 24" RCP. The open ditch listed through Pond 19 was built in what will be platted as The Enclave of Vermillion Section 5 and will be reported in the final report of that section. The pipe between structure 134 to 155 was upsized to a 15" RCP. The developer did not install the proposed sump structures. The 12" RCP was shortened from 1,720 feet to 1,618 feet. The 15" RCP was lengthened from 418 feet to 540 feet. The 18" RCP was shortened from 420 feet to 421 feet. The 24" RCP was lengthened from 20 feet to 676 feet. The 6" SSD was shortened from 4,137 feet to 4,111 feet. The open ditch was shortened from 1,308 feet to 359 feet. The length of the drain due to the changes described above is now **7,815 feet**.

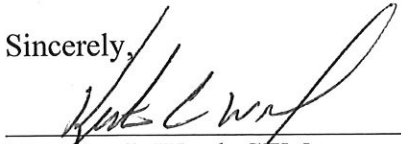
The non-enforcement was approved by the Board at its meeting on December 14, 2020 and recorded under instrument #2020091426.

The following sureties were guaranteed by Standard Financial Corporation and released by the Board on its January 25, 2021 meeting.

Bond-LC No: 1369ENC4
Amount: \$244,179.90
For: Storm Sewers
Issue Date: August 22, 2019

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: **THE ENCLAVE AT VERMILLION SECTION 4**

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: *Brady Kuhn* Date: 10/5/2020

Type or Print Name: BRADY KUHN

Business Address: 10505 NORTH COLLEGE AVE

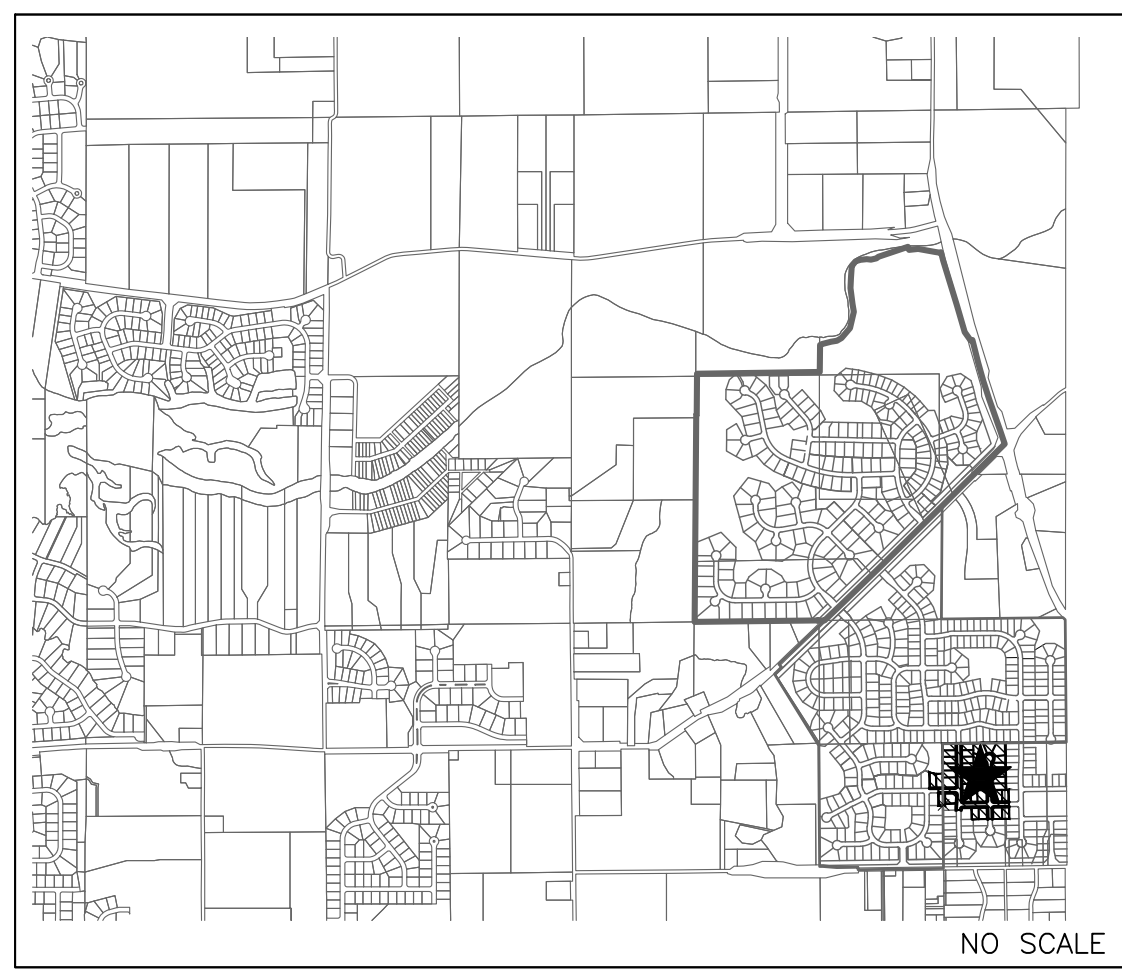
INDIANAPOLIS, IN 46280

Telephone Number: 317-846-6611



INDIANA REGISTRATION NUMBER

LS 20500007

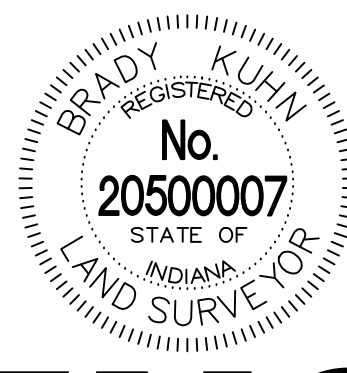


AREA LOCATION MAP
NO SCALE

RECORD DRAWING

9/30/2020

BRADY KUHN, L.S. 20500007

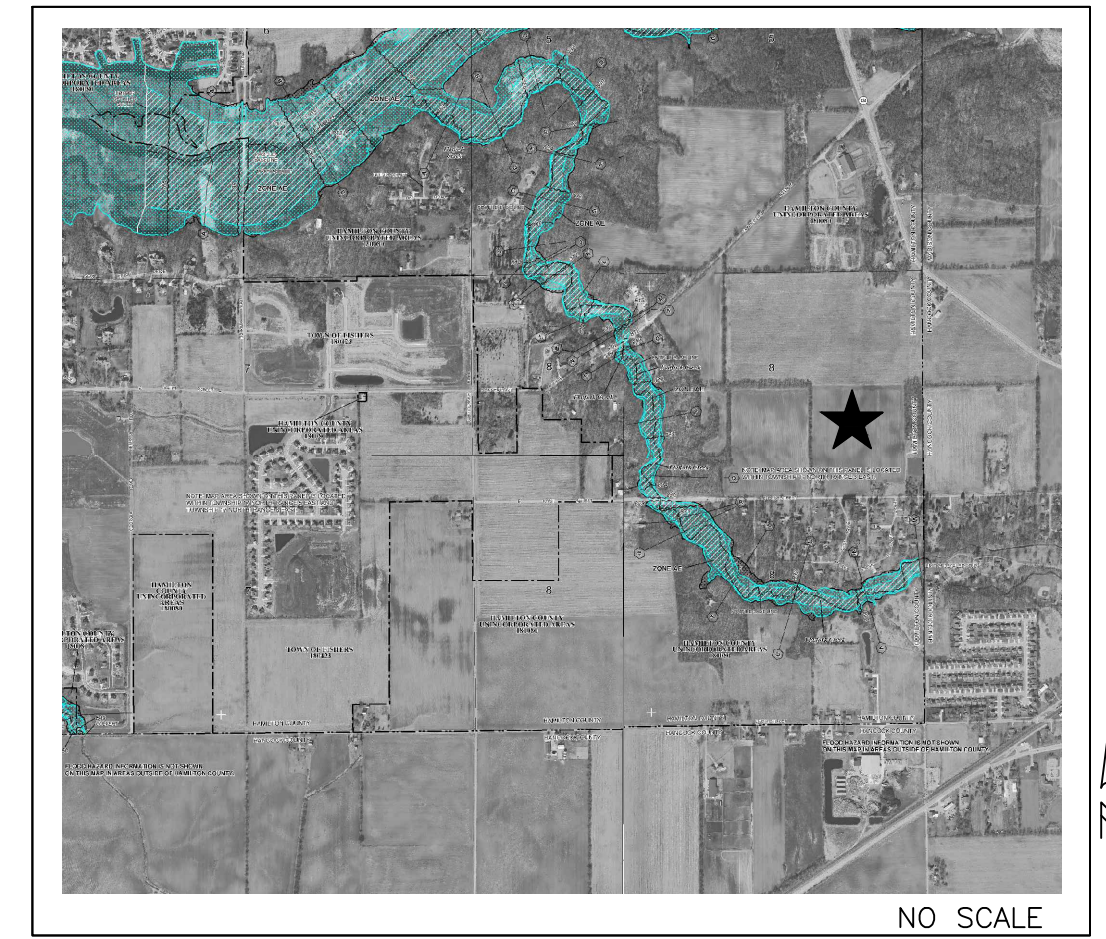


RECORD DRAWINGS

THE ENCLAVE AT VERMILLION

SECTION FOUR

FALL CREEK TOWNSHIP, FORTVILLE, IN 46040



F.E.M.A. F.I.R.I.M.
NO SCALE

GENERAL NOTES

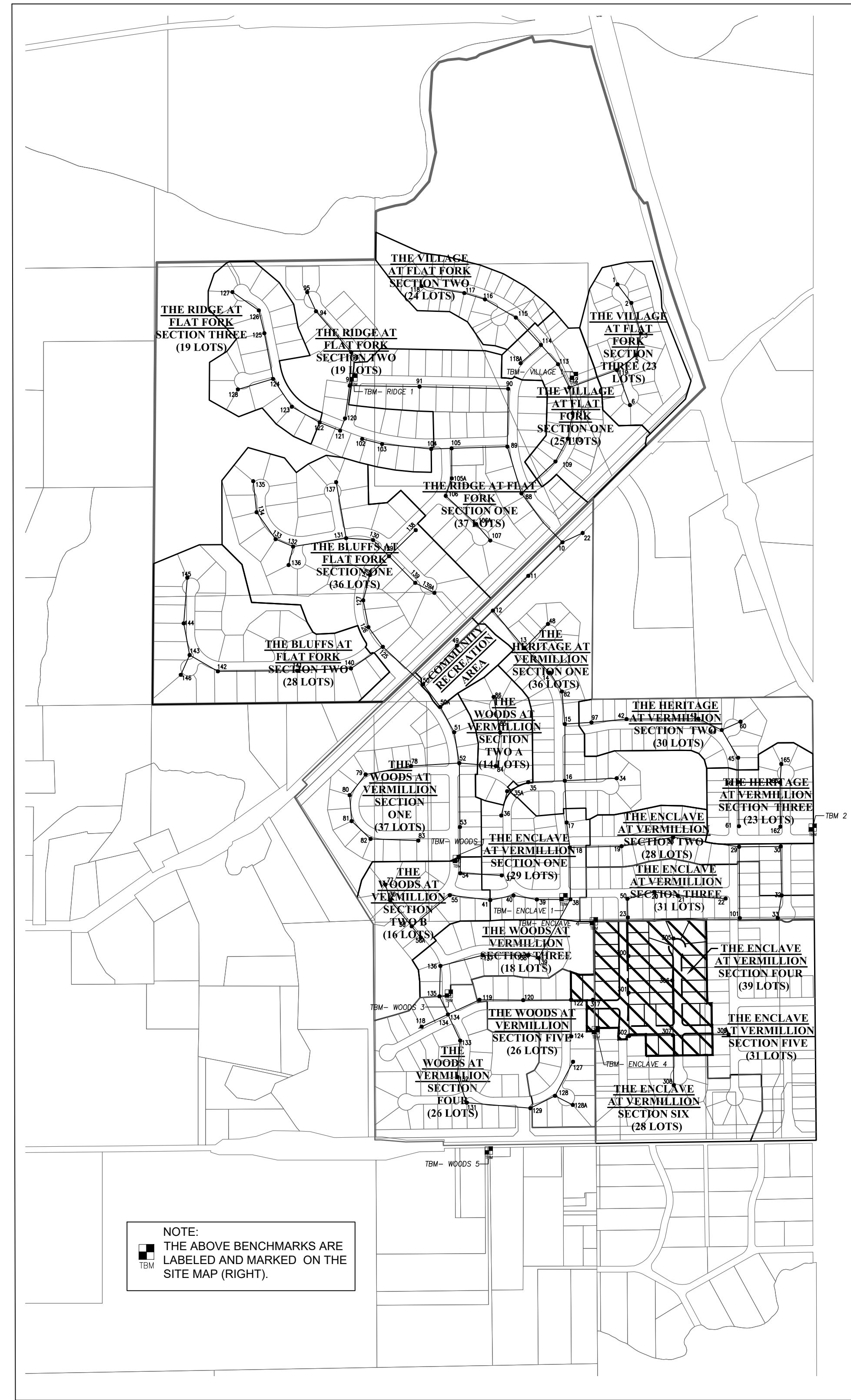
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0259G AND 18057C0278G, NOVEMBER 19, 2014.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE, FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER TOWN OF FORTVILLE UTILITY STREET STANDARDS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS, SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

BENCHMARK INFORMATION

- SOURCE BENCHMARK
HCBR 285 - HAMILTON COUNTY GEODETIC CONTROL DISK SET IN NORTH END OF EAST CONCRETE HANDRAIL ON THE ATLANTA AVENUE (SOUTHEASTERN PARKWAY OR SR 238) BRIDGE OVER FALL CREEK.
EL=809.14 (NAVD 88)
- TBM 2
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)
- TBM - ENCLAVE 4
TOP 3/4" INCH STEEL PIN MARKING THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 17 NORTH, RANGE 6 EAST, ONE QUARTER MILE NORTH OF THE CENTER OF 101ST STREET AND ONE QUARTER MILE WEST OF THE HAMILTON COUNTY-HANCOCK COUNTY LINE.
EL=861.77 (NAVD 88)
- TBM - WOODS 1
MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE
N=1709211.04
E=271032.69
EL=861.40 (NAVD 88)
- TBM - ENCLAVE 1
MAG NAIL SET IN THE WALK AT THE SOUTH SIDE OF DOMINION DRIVE AND KENSINGTON LANE, APPROXIMATELY 23' +/- SOUTH OF THE CENTERLINE OF DOMINION DRIVE AND 47' +/- WEST OF THE CENTERLINE OF KENSINGTON LANE IN THE ENCLAVE AT VERMILLION - SECTION ONE
N=1708982.08
E=271671.65
EL=862.36 (NAVD 88)
- TBM - WOODS 3
MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 53' +/- SOUTH AND 12' +/- WEST OF THE NORTHWEST CORNER OF LOT 315 IN THE WOODS AT VERMILLION - SECTION THREE
N=1708404.38
E=270984.89
EL=860.12 (NAVD 88)
- TBM - WOODS 5
A BENCH SPIKE ON THE NORTH SIDE OF A UTILITY POLE ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 134' +/- SOUTH AND 81' +/- WEST OF THE SOUTHWEST CORNER OF LOT 307 IN THE WOODS AT VERMILLION - SECTION FOUR
N=1708404.38
E=270984.89
EL=864.02 (NAVD 88)
- TBM - ENCLAVE 4
BENCH TIE SET IN EAST SIDE OF 6"x6" CORNER POST, 6.4 FEET NORTH AND 11.3 FEET WEST OF THE SOUTHEAST CORNER OF LOT #217 ENCLAVE AT VERMILLION, SECTION 4.
ELEV = 865.90 NAVD 88

OPERATING AUTHORITIES:

FISHERS DEPARTMENT OF COMMUNITY DEVELOPMENT ONE MUNICIPAL DRIVE FISHERS, IN 46038 317-595-3126 ATTN: MEGAN SCHAEFER	FORTVILLE WATER 714 E. BROADWAY ST. FORTVILLE, IN 46040 317-485-4044 ATTN: JOE RENNER	HAMILTON COUNTY HIGHWAY DEPARTMENT 1700 S. 10TH STREET NOBLESVILLE, IN 46060 317-773-7770 ATTN: DAVID LUCAS
SAMCO/ HSE UTILITIES 11901 LAKESIDE DRIVE FISHERS, IN 46038 317-577-1150 ATTN: THOMAS KALLIO	NINESTAR CONNECT (TELEPHONE) P.O. BOX 108 MAXWELL, IN 46154 317-323-2078 ATTN: GEORGE PLUSINKI	TRIAD ASSOCIATES 5835 LAWTON LOOP EAST DRIVE INDIANAPOLIS, IN 46216 317-377-5230 ATTN: DICK MOSIER
NINESTAR CONNECT (POWER) 2243 EAST MAIN STREET GREENFIELD, IN 46140 317-323-2087 ATTN: JOHN SPLATTER	EMBARQ/ CENTURY LINK 50 NORTH JACKSON STREET FRANKLIN, IN 46131 317-736-4863 ATTN: DAVID MEYERS	HAMILTON COUNTY SURVEYOR ONE HAMILTON COUNTY SQUARE, SUITE 188 NOBLESVILLE, INDIANA 46060 317-776-8495 ATTN: STEVE CASH
VECTREN 16000 ALLISONVILLE ROAD NOBLESVILLE, IN 46061 317-776-5532 ATTN: JOANIE CLARK	COMCAST 5330 E. 65TH STREET INDIANAPOLIS, IN 46220 317-774-3384 ATTN: MATT STRINGER	



NOTE:
THE ABOVE BENCHMARKS ARE LABELED AND MARKED ON THE SITE MAP (RIGHT).

SITE MAP
1"=500'

SHEET NO.	DESCRIPTION
C001	TITLE SHEET
G100-C101	EXISTING CONDITIONS / DEMOLITION PLAN
C200-C201	STORMWATER POLLUTION PREVENTION PLAN PHASE 1
C202-C203	STORMWATER POLLUTION PREVENTION PLAN PHASE 2
C204-C205	STORMWATER POLLUTION PREVENTION DETAILS & SPECS.
C300-C301	DEVELOPMENT PLAN
C302-C303	PONDING LIMITS/FLOOD ROUTING PLAN
C400-C402	STREET PLAN & PROFILE
C403	INTERSECTION/ENTRANCE DETAILS
C404-C407	STREET DETAILS & SPECIFICATIONS
C408	TRAFFIC CONTROL/SIGNAGE/STREET LIGHT/SUMP PLAN
C500-C501	SANITARY SEWER PLAN & PROFILE
C502-C504	SANITARY SEWER DETAILS & SPECIFICATIONS
C600-C602	STORM SEWER PLAN & PROFILE
C603-C604	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS/SPECIFICATIONS
L100-L102	LANDSCAPE PLAN

LEGAL DESCRIPTION

PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 17 NORTH, RANGE 6 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID NORTHEAST QUARTER, SAID POINT BEING ON THE SOUTH LINE OF THE ENCLAVE AT VERMILLION, SECTION 3, THE PLAT OF WHICH IS RECORDED ON PLAT CABINET SLIDE _____ AS INSTRUMENT NO. _____ THE NEXT FIVE COURSES ARE ALONG SAID SOUTH LINE (BASIS OF BEARING); THENCE NORTH 89 DEGREES 15 MINUTES 00 SECONDS EAST 365.11 FEET; THENCE NORTH 84 DEGREES 30 MINUTES 32 SECONDS EAST 47.88 FEET; THENCE NORTH 89 DEGREES 11 MINUTES 28 SECONDS EAST 168.31 FEET; THENCE SOUTH 87 DEGREES 38 MINUTES 46 SECONDS EAST 73.67 FEET; THENCE NORTH 89 DEGREES 15 MINUTES 00 SECONDS EAST 18.16 FEET; THENCE SOUTH 00 DEGREES 48 MINUTES 32 SECONDS EAST 500.46 FEET; THENCE NORTH 89 DEGREES 11 MINUTES 28 SECONDS EAST 25.50 FEET; THENCE SOUTH 00 DEGREES 48 MINUTES 32 SECONDS EAST 130.00 FEET; THENCE NORTH 89 DEGREES 11 MINUTES 28 SECONDS EAST 2.50 FEET; THENCE SOUTH 00 DEGREES 48 MINUTES 32 SECONDS EAST 180.00 FEET; THENCE SOUTH 89 DEGREES 11 MINUTES 28 SECONDS WEST 398.87 FEET; THENCE NORTH 00 DEGREES 48 MINUTES 32 SECONDS WEST 130.00 FEET; THENCE SOUTH 89 DEGREES 11 MINUTES 28 SECONDS WEST 94.12 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 20.00 FEET; THE RADIUS POINT OF SAID CURVE BEARS SOUTH 00 DEGREES 48 MINUTES 32 SECONDS EAST FROM SAID POINT; THENCE SOUTHWESTERLY ALONG SAID CURVE 31.42 FEET TO THE POINT OF TANGENCY WHICH BEARS SOUTH 89 DEGREES 11 MINUTES 28 SECONDS WEST FROM THE RADIUS POINT; THENCE SOUTH 00 DEGREES 48 MINUTES 32 SECONDS EAST 9.00 FEET; THENCE SOUTH 89 DEGREES 11 MINUTES 28 SECONDS WEST 50.00 FEET; THENCE NORTH 00 DEGREES 48 MINUTES 32 SECONDS WEST 22.30 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE EAST HAVING A RADIUS OF 175.00 FEET; THE RADIUS POINT OF SAID CURVE BEARS NORTH 89 DEGREES 11 MINUTES 28 SECONDS EAST FROM SAID POINT; THENCE NORTHERLY ALONG SAID CURVE 14.01 FEET TO THE POINT OF TANGENCY WHICH BEARS NORTH 89 DEGREES 13 MINUTES 13 SECONDS WEST FROM THE RADIUS POINT; THENCE NORTH 03 DEGREES 46 MINUTES 47 SECONDS EAST 33.81 FEET; THENCE SOUTH 89 DEGREES 11 MINUTES 28 SECONDS WEST 121.95 FEET; THENCE SOUTH 00 DEGREES 29 MINUTES 47 SECONDS EAST 19.46 FEET; THENCE SOUTH 89 DEGREES 51 MINUTES 41 SECONDS WEST 70.00 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 19 SECONDS WEST 135.00 FEET; THENCE NORTH 00 DEGREES 29 MINUTES 47 SECONDS WEST 50.00 FEET; THENCE SOUTH 89 DEGREES 30 MINUTES 13 SECONDS WEST 93.62 FEET; THENCE NORTH 00 DEGREES 29 MINUTES 47 SECONDS WEST 172.41 FEET; THENCE SOUTH 70 DEGREES 33 MINUTES 14 SECONDS EAST 52.80 FEET; THENCE NORTH 89 DEGREES 32 MINUTES 19 SECONDS EAST 90.46 FEET; THENCE NORTH 00 DEGREES 27 MINUTES 41 SECONDS WEST 319.72 FEET TO THE PLACE OF BEGINNING, CONTAINING 12.48 ACRES, MORE OR LESS.

NOTE:
THE HAMILTON COUNTY SURVEYOR'S OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.

STREET DATA

STREET LENGTHS:	
DRAYTON WAY	222.07 L.F. ±
GRIMSHAW DRIVE	656.29 L.F. ±
CARIBOU COURT	54.08 L.F. ±
BIGSTONE DRIVE	535.93 L.F. ±
WENESAGA COURT	494.55 L.F. ±
DEVONEN COURT	155.00 L.F. ±
TOTAL	2117.92 L.F. ±

NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.

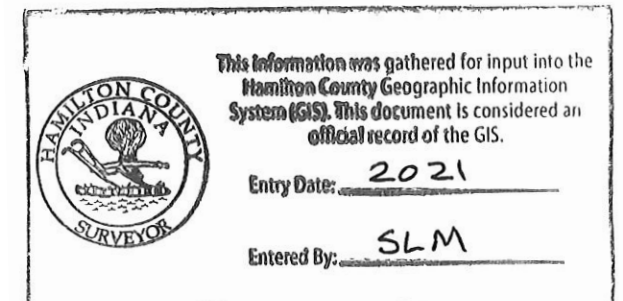
SITE AREA:	
SITE LOTS	12.48 AC. ± 39

PLANS PREPARED FOR

REPUBLIC DEVELOPMENT
NORTH CONNECTICUT DEVELOPMENT CORP.
13578 EAST 131ST STREET, SUITE 200
FISHERS, IN 46037
TELEPHONE: 317-770-1818
CONTACT PERSON: DOUG WAGNER

PLANS PREPARED BY

WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317) 846-6611
CONTACT PERSON: TRAVIS P. GAITHER, P.E.



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DAYS BEFORE COMMENCING WORK.

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Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.:	W170032-4
DWG. NAME:	AS CON'TD. SHEET
DESIGNED BY:	SLM
DRAWN BY:	SLM
CHECKED BY:	SLM
DATE:	04-01-2019

REVISIONS AND ISSUES

DATE	BY	REVISIONS PER IAC COMMENTS
05/27/2019	WEN	
07/11/2019	WEN	
08/08/2019	WEN	
10/24/2019	WEN	
11/05/2019	WEN	

REVISIONS PER IAC COMMENTS FOR UTILITY COMMENTS
REVISIONS PER IAC COMMENTS FOR UTILITY COMMENTS
REVISIONS PER IAC COMMENTS FOR UTILITY COMMENTS
REVISIONS PER IAC COMMENTS FOR UTILITY COMMENTS
REVISIONS PER IAC COMMENTS FOR UTILITY COMMENTS

DUANE A. SHARRER P.E. 890256

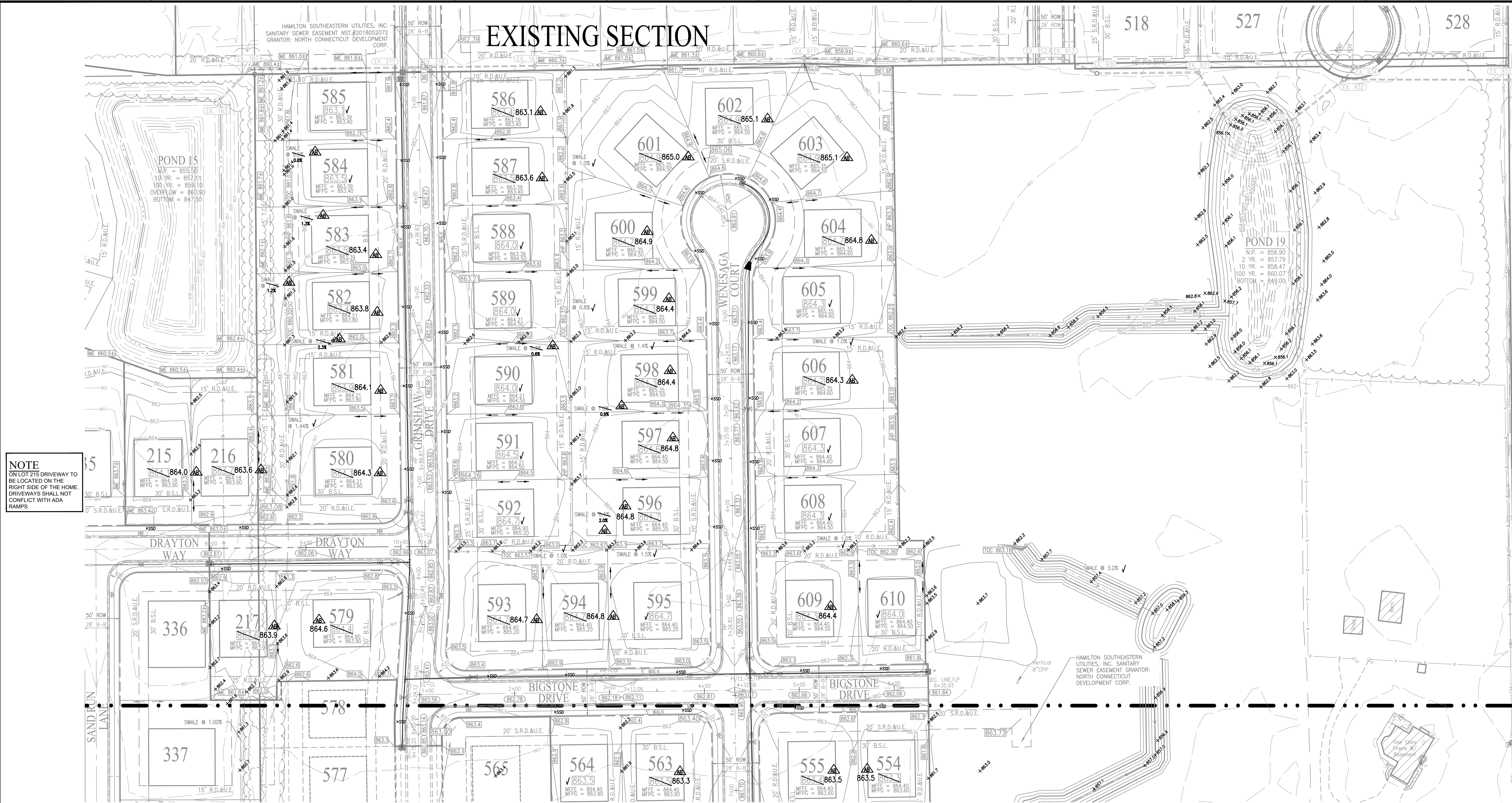
PREPARED FOR:
THE ENCLAVE AT VERMILLION
SECTION FOUR
NORTH CONNECTICUT DEVELOPMENT CORP.
TITLE SHEET
Part of the 28.82 +/- AC. of Section 15, Township 17 North, Range 6 East, Fall Creek Township, Hamilton County, Indiana

SHEET NO.
C001

PROJECT NO.
W170032-4

LOCATION: H:\2017\W170032\Section 4\Engineering\submittals\AS_Convert\AS_C001 Title_Sheet.dwg
DATE/TIME: October 02, 2020 - 3:56pm
PLOTTED BY: WinneM

EXISTING SECTION



NOTE
ON LOT 215 DRIVEWAY TO BE LOCATED ON THE RIGHT SIDE OF THE HOME. DRIVEWAYS SHALL NOT CONFLICT WITH ADA RAMPS.

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS, ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
- ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
- 2" ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
- A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB. SEE DETAIL.
- ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT, IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
- THE CONTRACTOR SHALL CONFIRM ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
- ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
- ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- THE CONTRACTOR SHALL CONFIRM ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
- ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
- THE FINISHED FLOOR GRADE FOR EACH LOT MUST BE 6" ABOVE PAD, CENTER OF LOT, M.F.P.G OR M.F.F.E., WHICHEVER IS HIGHEST.
- FINISHED FLOOR ELEVATION (FFE)

PRODUCT	FFE
SLAB ON GRADE	0.7" PAD ELEVATION
BASEMENT	1.8" PAD ELEVATION

*PAD ELEVATION PER LOT SHOWN ON DEVELOPMENT PLAN
UNLESS APPROVED OTHERWISE BY HSE, THE PAD ELEVATION ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING PAD ELEVATION ESTABLISHED HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT

RECORD DRAWING

DEVELOPMENT PLAN AS-BUILTS
PADS AND SWALES ONLY
9/30/2020
BRADY KUHN, L.S. 20500007

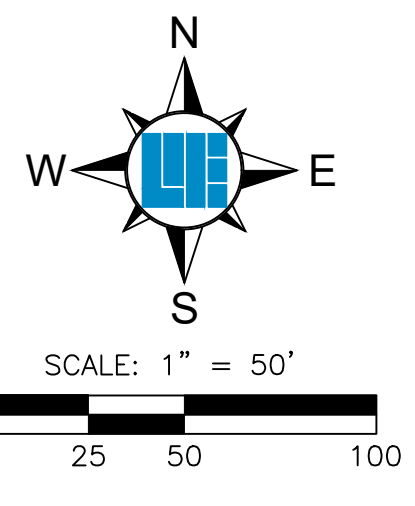


- △ - AS-BUILT INFORMATION
- ▽ - BUILT AS PLANNED
- - AS-BUILT SPOT ELEVATION
- - AS-BUILT RISER
- - AS-BUILT SUBSURFACE DRAIN

DATE OF LAST FIELDWORK: 9/29/2020

- ### LEGEND
- RIGHT-OF-WAY LINE
 - PROPOSED STORM SEWER LINE
 - EXISTING STORM SEWER LINE
 - SWALE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - STORM INLET
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER LATERAL
 - PROPOSED WATER LINE
 - EXISTING CONTOURS
 - PROPOSED ELEVATION
 - STORM BEEHIVE INLET
 - INVERT
 - REINFORCED CONCRETE PIPE
 - MANHOLE
 - STRUCTURE
 - DRAINAGE EASEMENT
 - DRAINAGE AND UTILITY EASEMENT
 - DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
 - CONCRETE END SECTION
 - MATCH EXISTING

- TYP. = TYPICAL
- PROP. = PROPOSED
- EX. = EXISTING
- R. = RADIUS
- V.W. = VARIABLE WIDTH
- M.A.G. = MINIMUM LOWEST ADJACENT GRADE
- ROW = RIGHT-OF-WAY
- B-B = BACK OF CURB
- 860.4 = PAD ELEV
- = EMERGENCY FLOOD ROUTE
- B.S.L. = BUILDING SETBACK LINE
- HP = HIGH POINT
- ▲ = ADA RAMP
- ☼ = FIRE HYDRANT
- ▨ = PROPOSED ASPHALT PATH



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DAYS BEFORE COMMENCING WORK.

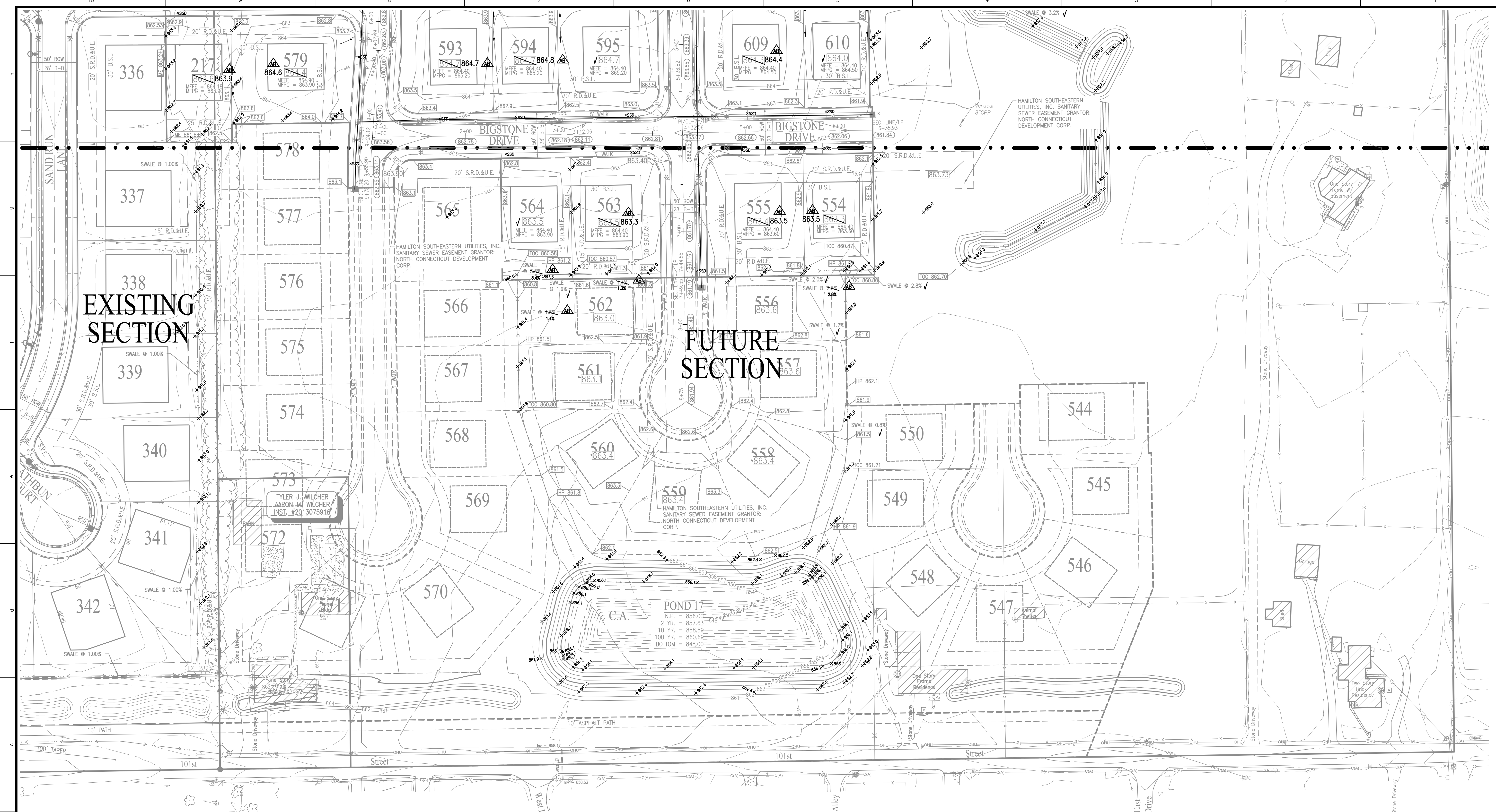
PREPARED FOR:
THE ENCLAVE AT VERMILLION
SECTION FOUR
NORTH CONNECTICUT DEVELOPMENT CORP.
DEVELOPMENT PLAN
SHEET NO. **C300**
PROJECT NO. **W170032-4**

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Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

PROJECT NO. W170032-4
DATE: 05/21/2019
BY: MEN
DESIGNER: MEN
CHECKED BY: MEN
DATE: 07/11/2019
DRAWN BY: MEN
DATE: 08/08/2019
DATE: 10/24/2019
DATE: 11/09/2019

REVISIONS AND ISSUES:
REVISIONS PER IAC COMMENTS
REVISIONS PER IAC COMMENTS
REVISIONS PER HCSO COMMENTS
REVISED GRADING ON GRIMSHAW DRIVE & DRAYTON WAY FOR IAC COMMENTS

DUANE A. SHARRER P.E. 890258



EXISTING SECTION

FUTURE SECTION

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
3. ALL QUANTITIES GIVEN ON THESE PRINTS, ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
5. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
6. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
7. 2" ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
8. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
9. ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
10. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT. IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
11. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
12. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
13. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
14. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
15. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE STANDARDS FOR WORKER SAFETY.
16. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
17. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
18. ALL 6" S&D SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS).
19. THE FINISHED FLOOR GRADE FOR EACH LOT MUST BE 6" ABOVE PAD, CENTER OF LOT, M.F.P.G OR M.F.F.E., WHICHEVER IS HIGHEST.
20. FINISHED FLOOR ELEVATION (FFE)

PRODUCT	FFE
SLAB ON GRADE	0.7" PAD ELEVATION
BASEMENT	1.8" PAD ELEVATION

*PAD ELEVATION PER LOT SHOWN ON DEVELOPMENT PLAN
UNLESS APPROVED OTHERWISE BY HSE, THE PAD ELEVATION ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING PAD ELEVATION ESTABLISHED HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.

RECORD DRAWING
DEVELOPMENT PLAN AS-BUILTS
PADS AND SWALES ONLY

9/30/2020
BRADY KUHN, L.S. 20500007

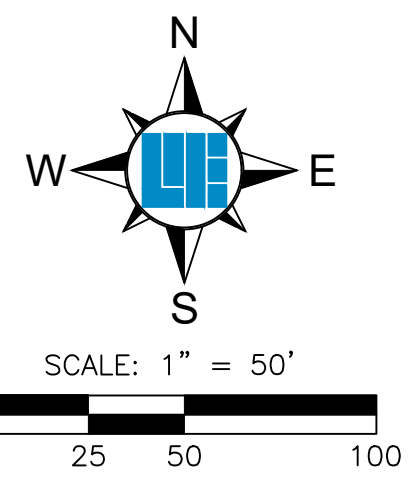
- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT RISER
- AS-BUILT SUBSURFACE DRAIN

DATE OF LAST FIELDWORK: 9/29/2020



- LEGEND**
- RIGHT-OF-WAY LINE
 - PROPOSED STORM SEWER LINE
 - EXISTING STORM SEWER LINE
 - SWALE
 - SSD
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER LATERAL
 - PROPOSED WATER LINE
 - FLOW DIRECTION
 - EXISTING CONTOURS
 - PROPOSED ELEVATION
 - STORM BEEHIVE INLET
 - STORM INLET
 - TOP OF CASTING
 - INVERT
 - RENFORCED CONCRETE PIPE
 - MANHOLE
 - STR.
 - D.E.
 - DRAINAGE AND UTILITY EASEMENT
 - D.&U.E.
 - D.I.A.S.E.
 - CONCRETE END SECTION
 - MATCH EXISTING

- 860.4 = PAD ELEV
- EMERGENCY FLOOD ROUTE
- B.S.L. = BUILDING SETBACK LINE
- HP = HIGH POINT
- ADA RAMP
- FIRE HYDRANT
- PROPOSED ASPHALT PATH
- 860.4 = TYPICAL PROP. EX. R. = EXISTING RADIUS V.W. = VARIABLE WIDTH M.L.G. = MINIMUM LOWEST ADJACENT GRADE ROW = RIGHT-OF-WAY B-B = BACK OF CURB
- EMERGENCY FLOOD ROUTE
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DAYS BEFORE COMMENCING WORK.

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 846 - 6611
800 452 - 6408
317 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying/Civil Engineering
Landscape Architecture

PROJECT NO.	W170032-4
DATE	05/21/2019
BY	ME
DATE	07/11/2019
BY	ME
DATE	08/08/2019
BY	ME
DATE	10/24/2019
BY	ME
DATE	11/09/2019
BY	ME

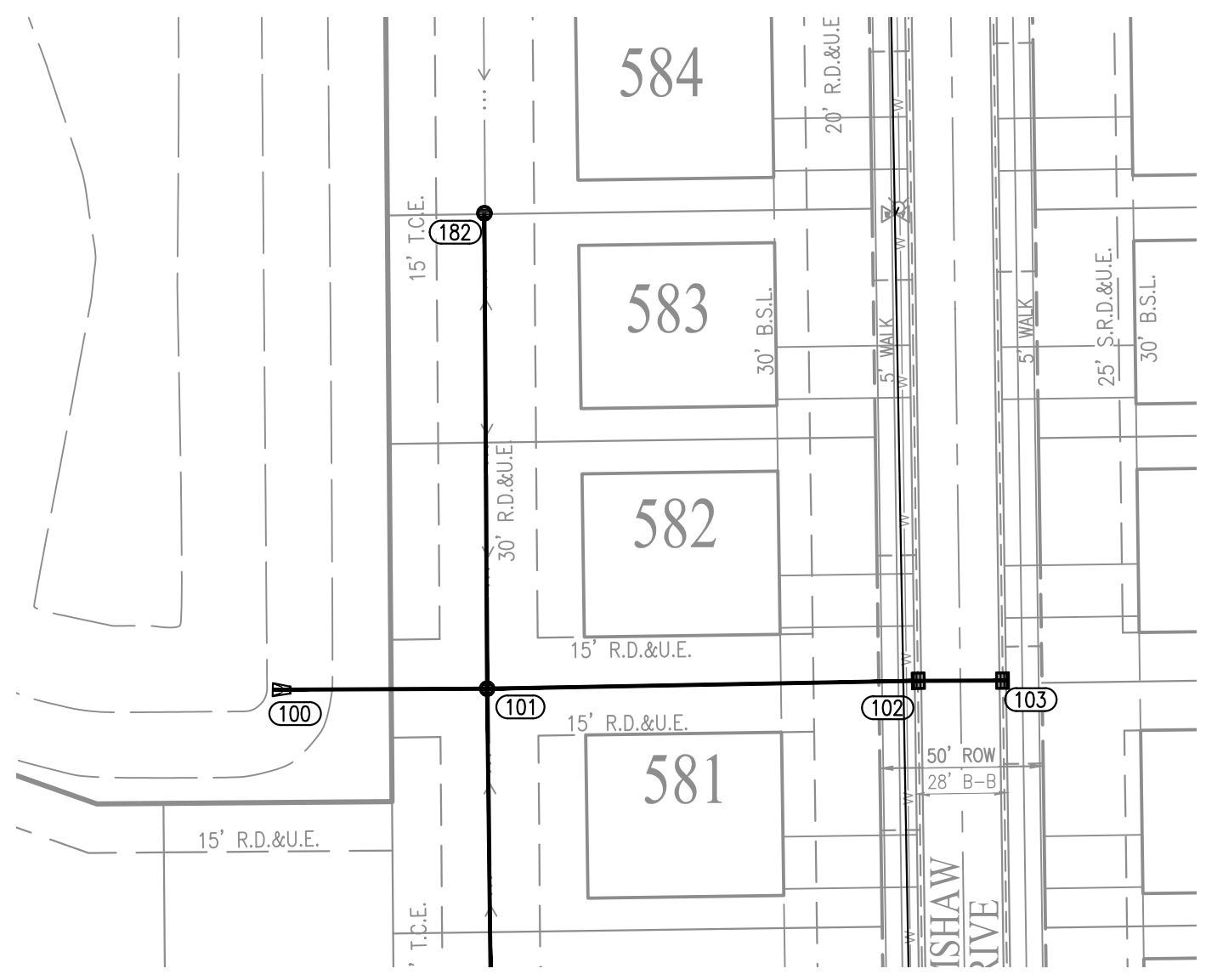
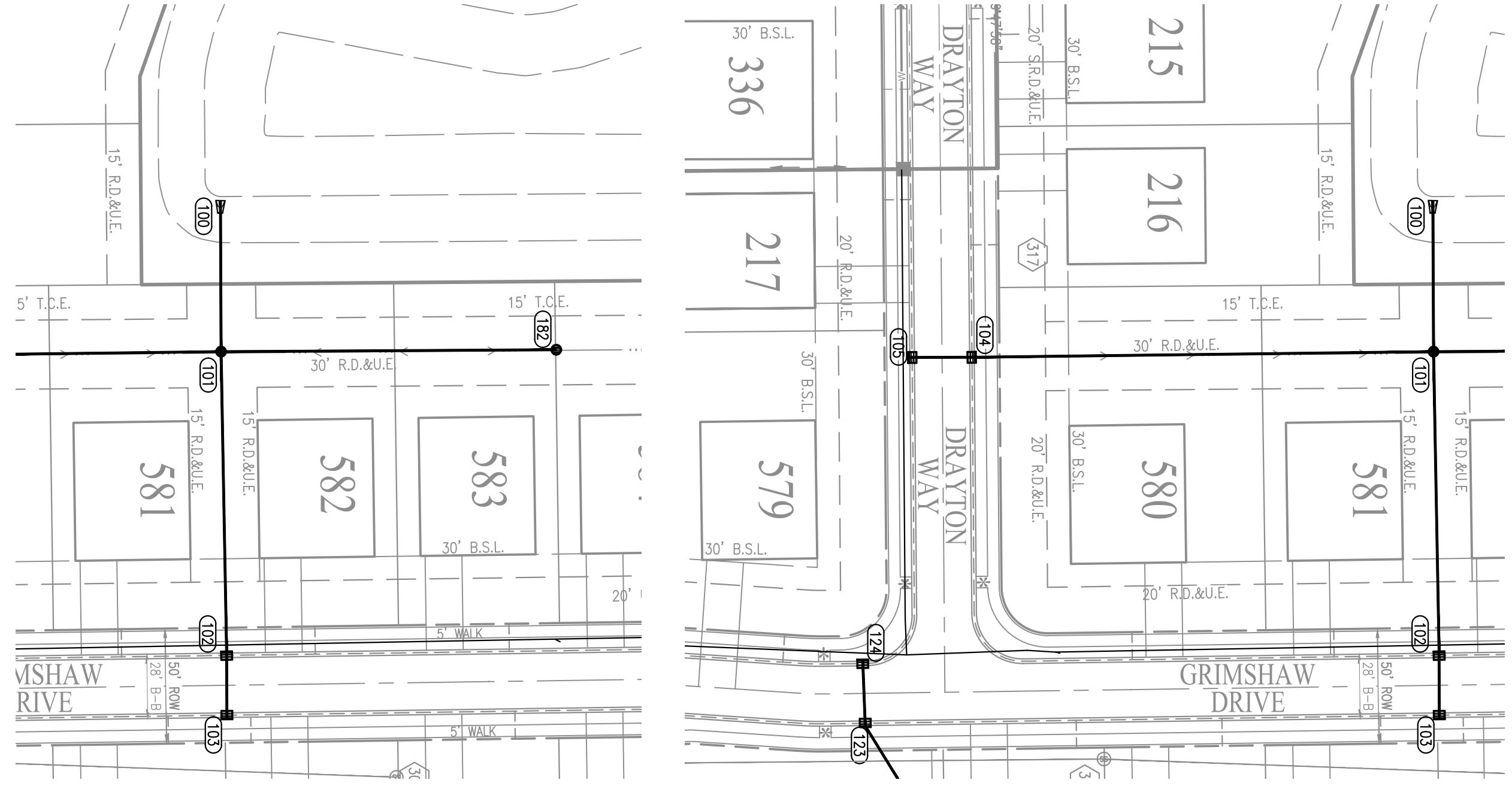
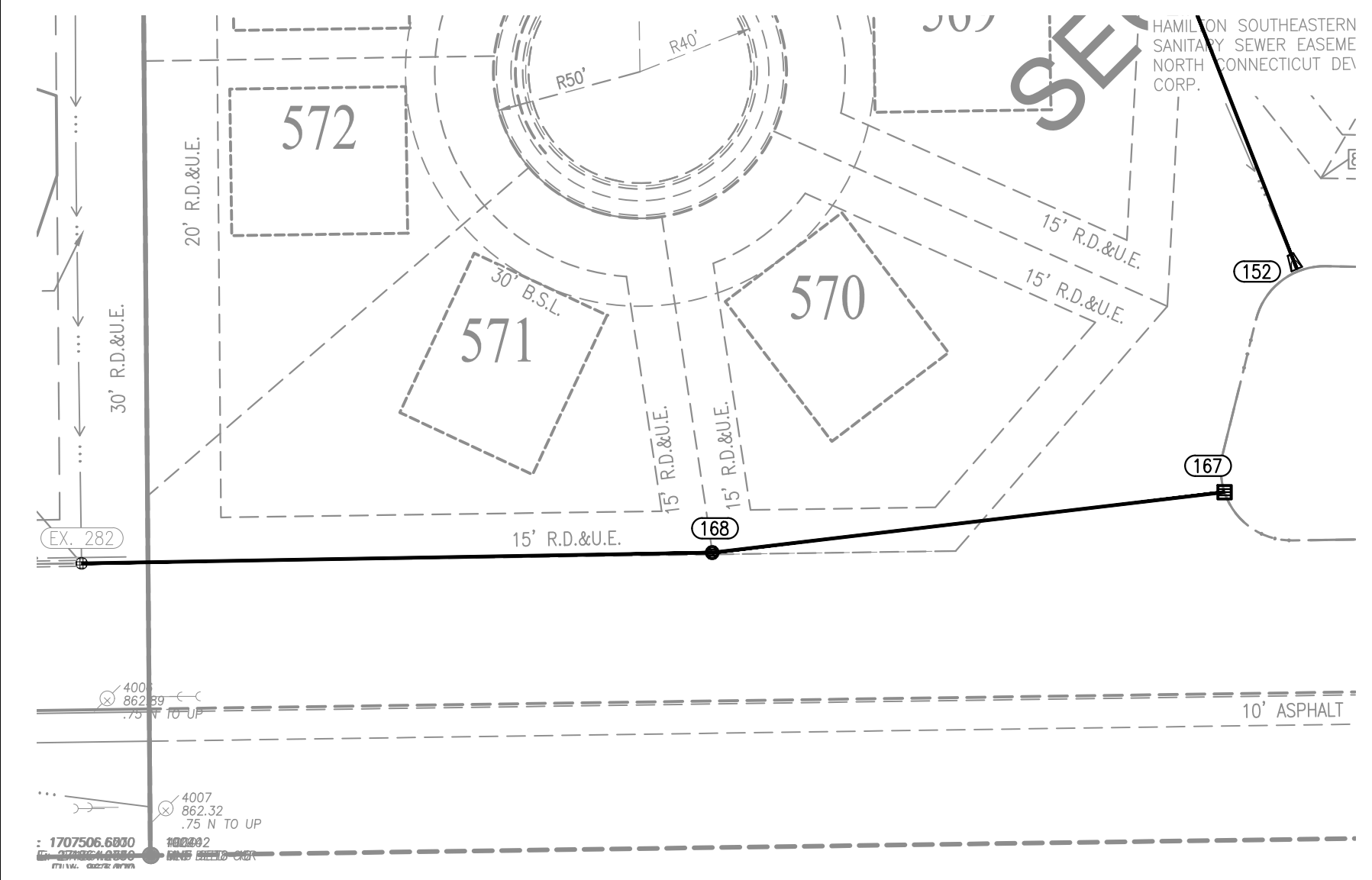
REVISIONS AND ISSUES

REVISIONS PER IAC COMMENTS	01/07/2020
REVISIONS PER IAC COMMENTS	
REVISIONS PER IAC COMMENTS	
REVISIONS PER IAC COMMENTS	
REVISIONS PER IAC COMMENTS	

DUANE A. SHARRER P.E. 890256

PREPARED FOR:
THE ENCLAVE AT VERMILLION
SECTION FOUR
NORTH CONNECTICUT DEVELOPMENT CORP.
DEVELOPMENT PLAN
Part of the 28.82 +/- Acres 15, Promenade 17 North, Range 6 East, Fall Creek Township, Hamilton County, Indiana
SHEET NO.
C301
PROJECT NO.
W170032-4

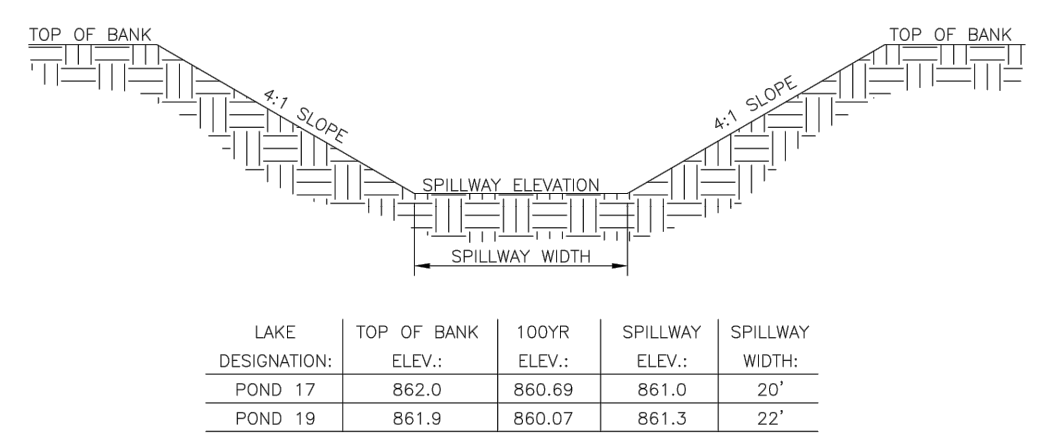
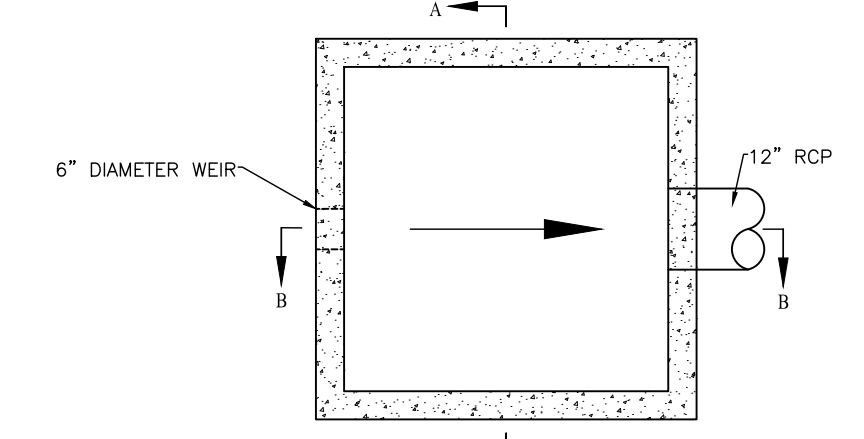
LOCATION: H:\2017\W170032\Section 4\Engineering\submittals\AS-Built\AS-Built\Development Plan.dwg
DATE/TIME: October 02, 2020 - 3:58pm
PLOTTER: HP DesignJet 5000



RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 9/30/2020
 BRADY KUHN, L.S. 20500007



AS-BUILT INFORMATION
 BUILT AS PLANNED
 DATE OF LAST FIELDWORK: 9/29/2020



LAKE DESIGNATION	TOP OF BANK ELEV.	100YR. ELEV.	SPILLWAY ELEV.	SPILLWAY WIDTH
POND 17	862.0	860.0	861.0	20'
POND 19	861.9	860.7	861.3	22'

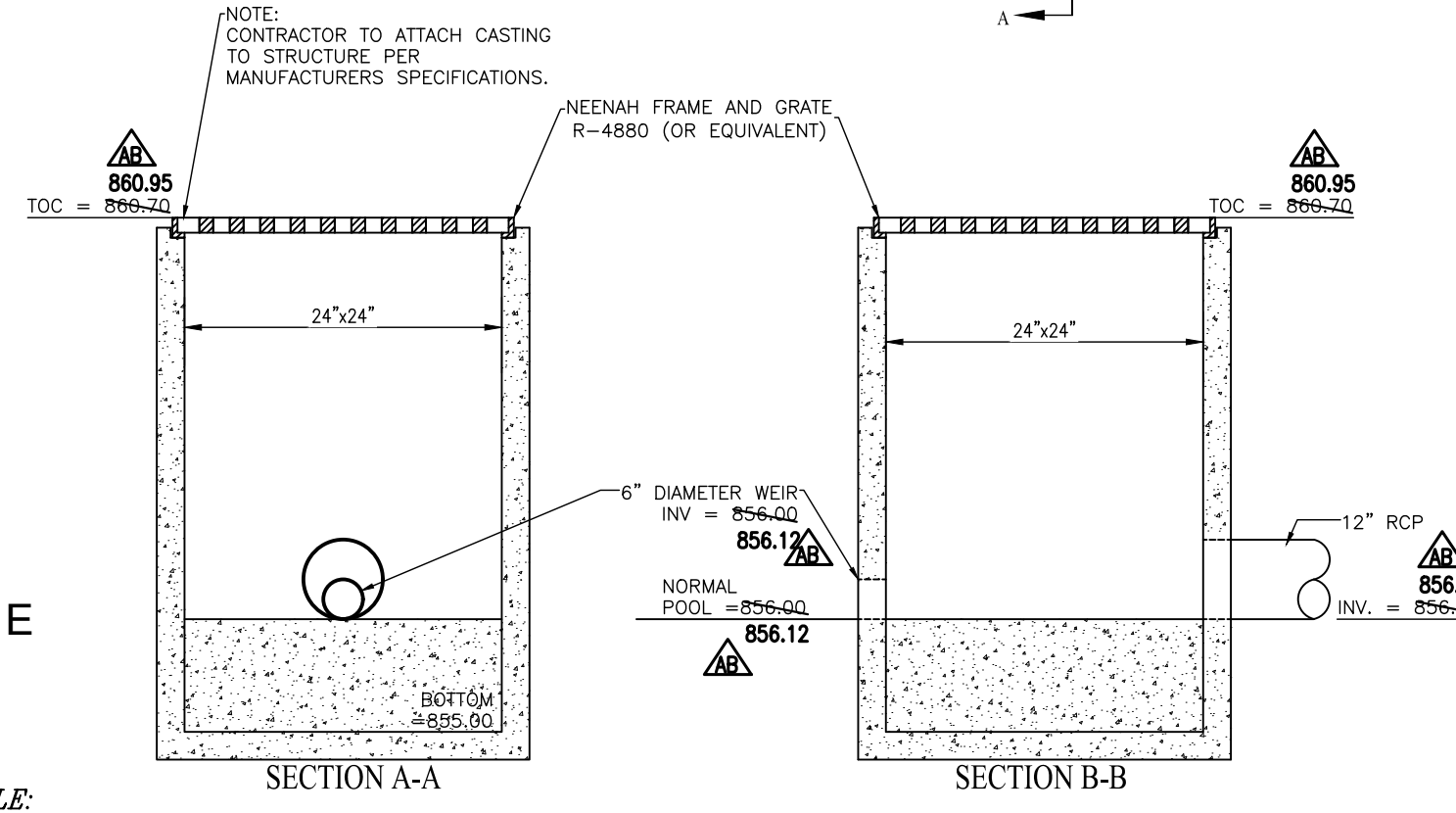
SPILLWAY DETAIL
 NOT TO SCALE

LEGEND

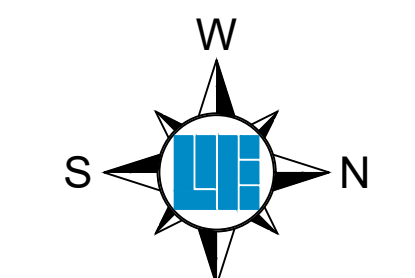
- RIGHT-OF-WAY LINE
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- MANHOLE
- STR.
- D.E.
- D.U.A.S.E.
- ME
- 860.4 = PAD ELEV
- EMERGENCY FLOOD ROUTE
- B.S.L. = BUILDING SETBACK LINE
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- TYP. = TYPICAL
- PROP. = PROPOSED
- EX. = EXISTING
- R. = RADIUS
- V.W. = VARIABLE WIDTH
- MLAG = MINIMUM LOWEST ADJACENT GRADE
- ROW = RIGHT-OF-WAY
- B-S. = BACK OF CURB

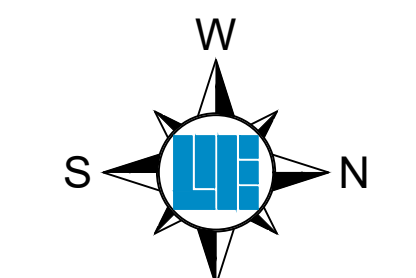
NOTE:
 1. EXCEPT FOR FORCE MAINS, CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWER FACILITIES AND STORM SEWERS IS 18" OR LESS.
 2. STRUCTURES 102, 104, 134, 136, AND 156 WILL HAVE 2' SUMPS.



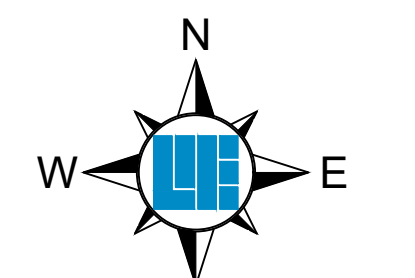
SECTION A-A
 SECTION B-B
 POND OUTLET STRUCTURE #167
 NOT TO SCALE



HORIZONTAL SCALE:
 1" = 50'



HORIZONTAL SCALE:
 1" = 50'



HORIZONTAL SCALE:
 1" = 50'

PER INSPECTOR
 SUMPS WERE
 NOT INSTALLED



PROFILE LEGEND

---	EXISTING GRADE
---	FINISHED GRADE
---	GRANULAR BACKFILL

PROFILE LEGEND

---	EXISTING GRADE
---	FINISHED GRADE
---	GRANULAR BACKFILL

PROFILE LEGEND

---	EXISTING GRADE
---	FINISHED GRADE
---	GRANULAR BACKFILL

PROFILE LEGEND

---	EXISTING GRADE
---	FINISHED GRADE
---	GRANULAR BACKFILL



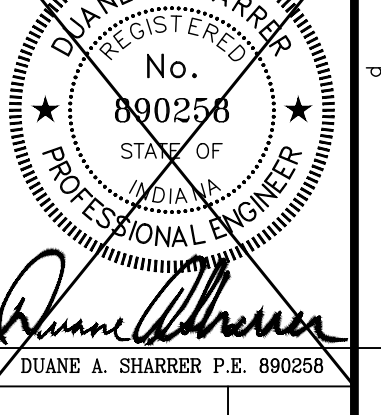
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 Indianapolis, Indiana 46280
 weithe.net
 317 | 846 - 6611
 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

DATE	BY	PROJECT NO.
05/21/2019	ME	W170032-4
07/11/2019	ME	BY NAME: Per Day
08/08/2019	ME	DESIGNED BY: Per Day
10/24/2019	ME	DRAWN BY: Per Day
11/06/2019	ME	CHECKED BY: Per Day
12-01-2019	ME	DATE: Per Day

REVISIONS AND ISSUES
 REVISIONS PER IFC COMMENTS
 REVISIONS PER IFC COMMENTS
 REVISIONS PER IFC COMMENTS
 REVISIONS PER IFC COMMENTS
 REVISIONS PER IFC COMMENTS
 REVISIONS PER IFC COMMENTS



PREPARED FOR:
THE ENCLAVE AT VERMILLION
SECTION FOUR
 NORTH CONNECTICUT DEVELOPMENT CORP.
 STORM SEWER PLAN AND PROFILES
 Part of the SF-05 1/4 of Section 15, Township 17 North, Range 6 East, Paul Creek Township, Hamilton County, Indiana

SHEET NO.
C600
 PROJECT NO.
 W170032-4

LOCATION: H:\2017\W170032\Section 4\Engineering\submittals\AS-Built\Storm Plan.dwg
 DATE/TIME: October 02, 2020 - 4:02pm
 PLOTTED BY: kinnard

